



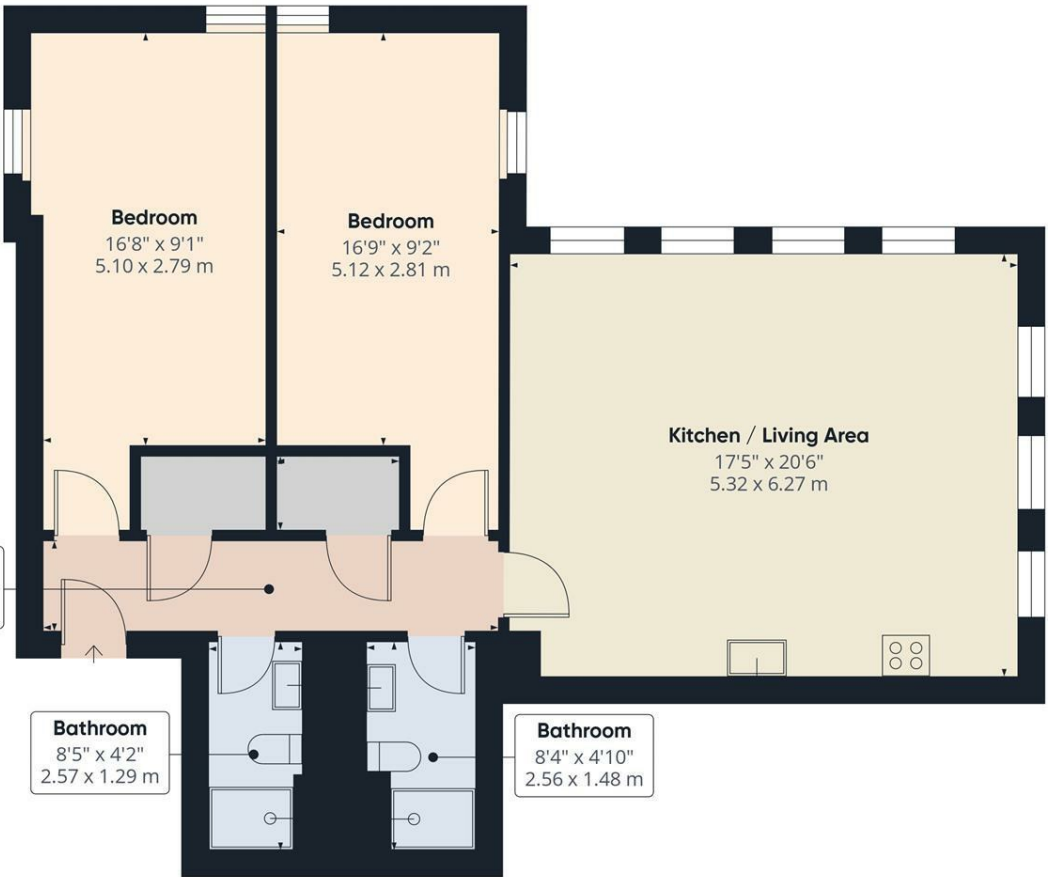
## 108 Napier Street, Sheffield S11 8HA £1,295 Per Calendar Month


Located just a short walk from Sheffield city centre, this newly converted development presents a collection of exceptional two bedroom, two bathroom apartments, each completed to an outstanding specification. Designed with discerning residents in mind, every aspect of these residences reflects superior craftsmanship and contemporary elegance.

Each apartment features a bespoke imported German kitchen, complete with high end appliances and boiling water taps, seamlessly integrated into spacious open-plan living areas flooded with natural light from expansive windows. The king sized bedrooms offer generous proportions and are complemented by sleek, modern bathrooms, creating a private retreat of comfort and style.

Additional features include allocated parking spaces and a prime location on Ecclesall Road—perfectly positioned for access to boutique shops, restaurants, and the city's vibrant cultural scene.

FURNISHINGS NEGOTIABLE Short term/long term tenancies. Restrictions: No smokers. Energy Efficiency Rating - Awaiting. Information Council Tax Band - Awaiting Information





**Approximate total area<sup>m</sup>**  
885 ft<sup>2</sup>  
82.3 m<sup>2</sup>

(1) Excluding balconies and terraces

While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale. This floor plan is for illustrative purposes only.

Calculations were based on RICS IPMS 3C standard. Please note that calculations were adjusted by a third party and therefore may not comply with RICS IPMS 3C.

**GIRAFFE360**

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) <b>A</b>			
(81-91) <b>B</b>			
(69-80) <b>C</b>			
(55-68) <b>D</b>			
(39-54) <b>E</b>			
(21-38) <b>F</b>			
(1-20) <b>G</b>			
Not energy efficient - higher running costs			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions			
(92 plus) <b>A</b>			
(81-91) <b>B</b>			
(69-80) <b>C</b>			
(55-68) <b>D</b>			
(39-54) <b>E</b>			
(21-38) <b>F</b>			
(1-20) <b>G</b>			
Not environmentally friendly - higher CO <sub>2</sub> emissions			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	

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